



**Brunsdon**  
ASSOCIATES 

30 Salcombe Road, Newbury, Berkshire RG14 6ED

# Guide Price: £1,250 pcm – TO LET

Available early April – **suitable for professional couple or family. No Pets. No Smokers**

A three bedroom semi-detached house with two reception rooms, kitchen, breakfast/garden room, cloakroom and family bathroom. The property is situated in a prime location to the south of Newbury within popular school catchment areas

Entrance hall, cloakroom, bay fronted reception room with open fire, dining room with open fire, kitchen, breakfast room/conservatory, three bedrooms, family bathroom, garage & driveway parking, mature gardens

## THE PROPERTY

This semi-detached house has the benefit of two reception rooms both have open fires, the kitchen leads into a breakfast room/conservatory which overlooks the rear garden. There is also a cloakroom room on the ground floor with three bedrooms and family bathroom on the first floor.

## OUTSIDE

Small front garden with pathway to the front door and driveway leading to the single garage with up and over door. The rear garden is mainly laid to lawn with a decked patio being fully enclosed. Garden shed.

## LOCATION

Salcombe Road in set in a sought after area to the south of the town with good Primary and Secondary Schools, being in walking distance of John Rankin school and also St. Bart's. There is a local of shop for everyday needs and Newbury town centre offers a vast array of shops, hotels, restaurants, public houses, a racecourse, golf courses and leisure facilities. Communications are excellent with main line station into London Paddington in under an hour. The A34 is about 1 ½ miles away.

## DIRECTIONS

From Newbury follow the signs for the A343, Andover Road, once on this road take the first turning on the right into Buckingham Road. At the mini-roundabout turn left onto Fifth Road and continue along. Salcombe Road is the second turning on the right hand side. The property will be found midway along on the right hand side.

## COUNCIL TAX

We have been informed by West Berkshire District Council that the property is in **Band C** with tax payable of **£1,502.97** for the period 2018.

*Admin Fee £125 per applicant non refundable . Deposit 1.5 months rent (£1,875.00). A £500 holding deposit is usually required to secure the property.*

## SERVICES

Electricity, mains water and drainage. Oil fired heating.

## VIEWING

By strict appointment with the vendors Sole Agents Brunsdon Associates **01635 255501** [property@brunsden.com](mailto:property@brunsden.com)

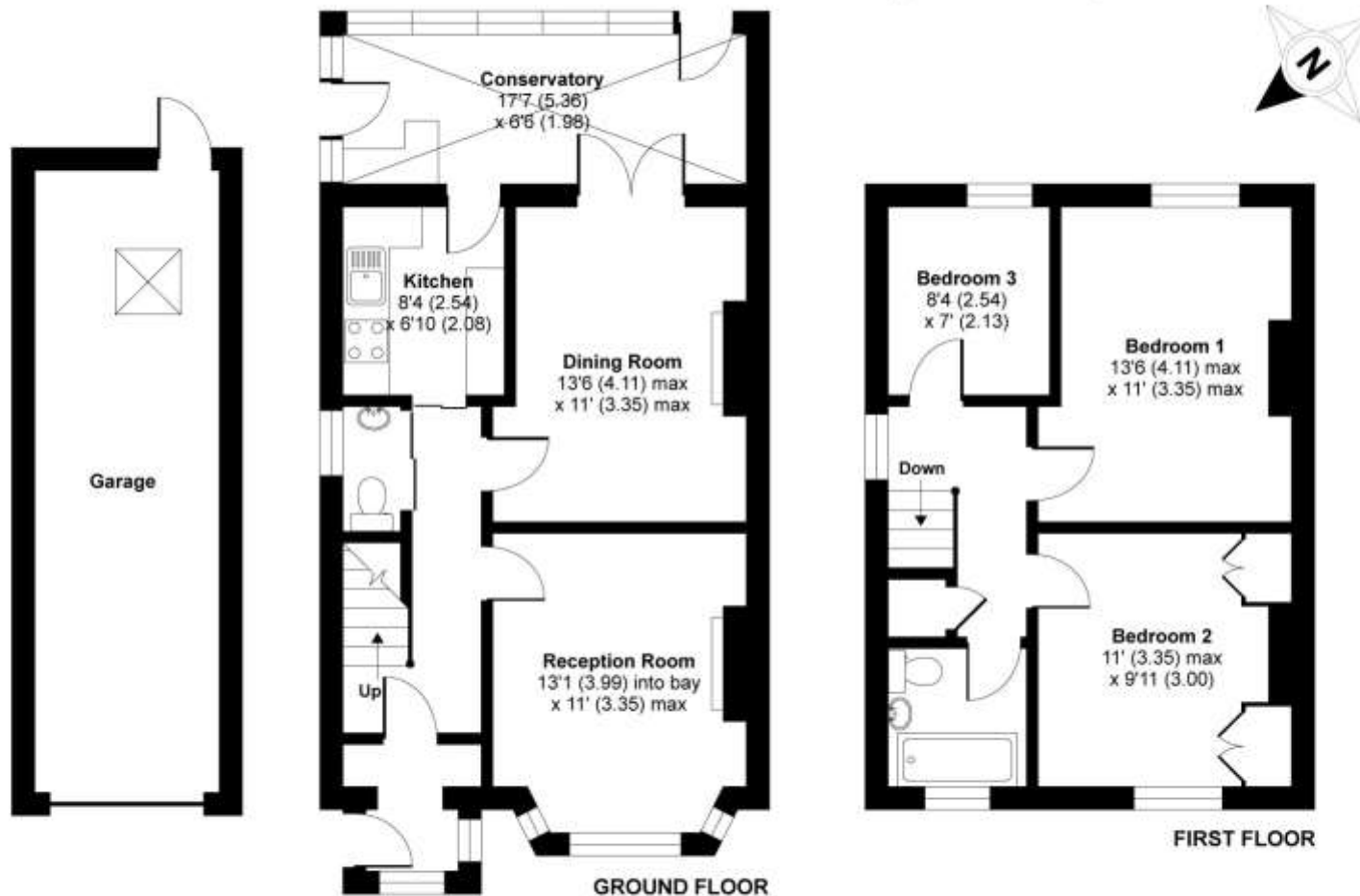
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APPROX. GROSS INTERNAL FLOOR AREA 1041 SQ FT 96.7 SQ METRES (EXCLUDES GARAGE)



Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows and rooms are approximate and no responsibility is taken for any error, omission or misstatement. These plans are for representation purposes only as defined by RICS Code of Measuring Practice and should be used as such by any prospective purchaser. Specifically no guarantee is given on the total square footage of the property if quoted on this plan. Any figure given is for initial guidance only and should not be relied on as a basis of valuation.

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01635 255501 [property@brunsden.com](mailto:property@brunsden.com) [www.brunsdn.com](http://www.brunsdn.com)  
The Old Axe & Compass, East End, Newbury RG20 0AA

